

A03225

Akbar Vaziri

Date of this Notice: January 29th, 2026

Tax Roll #: 436402000196672



Notice of Public Meeting Committee of Adjustment

Application for an Incidental Minor Variance has been submitted by Akbar Vaziri, owner of the subject lands.

Property Location: 25 Waterview Rd.

Public Meeting Date: Wednesday, February 18th, 2026, at 2:00 p.m.

Virtual Hearing via Zoom & In-person at Town Hall (30 Lewis St.) in the Council Chambers

What is being proposed?

The application requests zoning relief from Section 4 "Residential Type One (R1) Zone" of Comprehensive Zoning By-law 2003-60, as amended.

Specifically, the application requests relief from the following provisions:

Section 4.4.13 R1-13 Zone – to permit a 22.3 square metre (240 sq. ft.) detached accessory structure (seasonal outdoor sunshade structure) to be located within 4.32 metres (14.17 ft.) of the rear lot line, whereas for those lots with two side lot lines backing onto the shoreline of Nottawasaga Bay no buildings or structures shall be located within 7.6 metres (24.9 ft.) of a rear lot line.

The application requests additional zoning relief from Section 3 "General Provisions" of Comprehensive Zoning By-law 2003-60, as amended.

Specifically, the application requests relief from the following provisions:

Section 3.6.1 – to permit a separation distance of 0.3 metres (0.98 ft.) between the proposed detached accessory structure (seasonal outdoor sunshade structure) and the existing single detached dwelling, whereas no detached building or structure including the sills, bay windows, belt course, chimney, cornices, eaves, gutters, parapets, pilasters or similar ornamental structures shall be located closer than 1.2 metres to any other building or structure.

The variance(s) requested would permit the construction of a 22.3 square metre (240 sq. ft.) detached accessory structure (seasonal outdoor sunshade structure) with a decreased setback from the rear lot line and the existing single detached dwelling.

OTHER APPLICATIONS: The lands subject to this application for minor variance is not

Note: Alternative formats available upon request.



currently the subject of other application(s) under the Planning Act.

The legal description of the subject lands is: *PLAN 51M961 LOT 72*.

What happens at the Public Hearing?

The public hearing is your chance to make your views about the proposal known. Information from the public will help the Committee in their decision-making process, so make sure to have your say!

Written Comments: You are encouraged to provide your comments or questions in writing using email or regular letter mail to the Secretary Treasurer. Written comments received before the meeting will be read by the Secretary Treasurer at the Public Meeting for the benefit of everyone in attendance and will be included in the record of the Public Meeting.

Comments can be emailed to: cofa@wasagabeach.com

Verbal Comments: This Public Meeting is a hybrid meeting, allowing the public to attend the meeting in person or virtually. Those that wish to make verbal comments virtually are required to pre-register with the Secretary Treasurer, no later than 12:00 p.m. (Noon) on the Tuesday before the Public Meeting, by **February 17th, 2026**.

To participate in the hearing and/or provide comments, you must register by scanning the below QR code



Register

Notice of Decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before or on the meeting date.

Where Can I Find More Information?

Additional information is available during regular office hours in the Planning Division of the Planning & Development Services Department at Town Hall. You may also request a copy of this notice by contacting:

Secretary Treasurer, Committee of Adjustment
Town of Wasaga Beach
120 Glenwood Drive
Wasaga Beach, ON

Hours of Operation:
Monday-Friday 8:30am-4:30pm

Phone: (705) 429-3844 ext. 2281
Email: cofa@wasagabeach.com

Questions? Ask the Planner!

Phone: 705.429.3844 x2250
Email: c.watt@wasagabeach.com

A note about information you may submit to the Town:

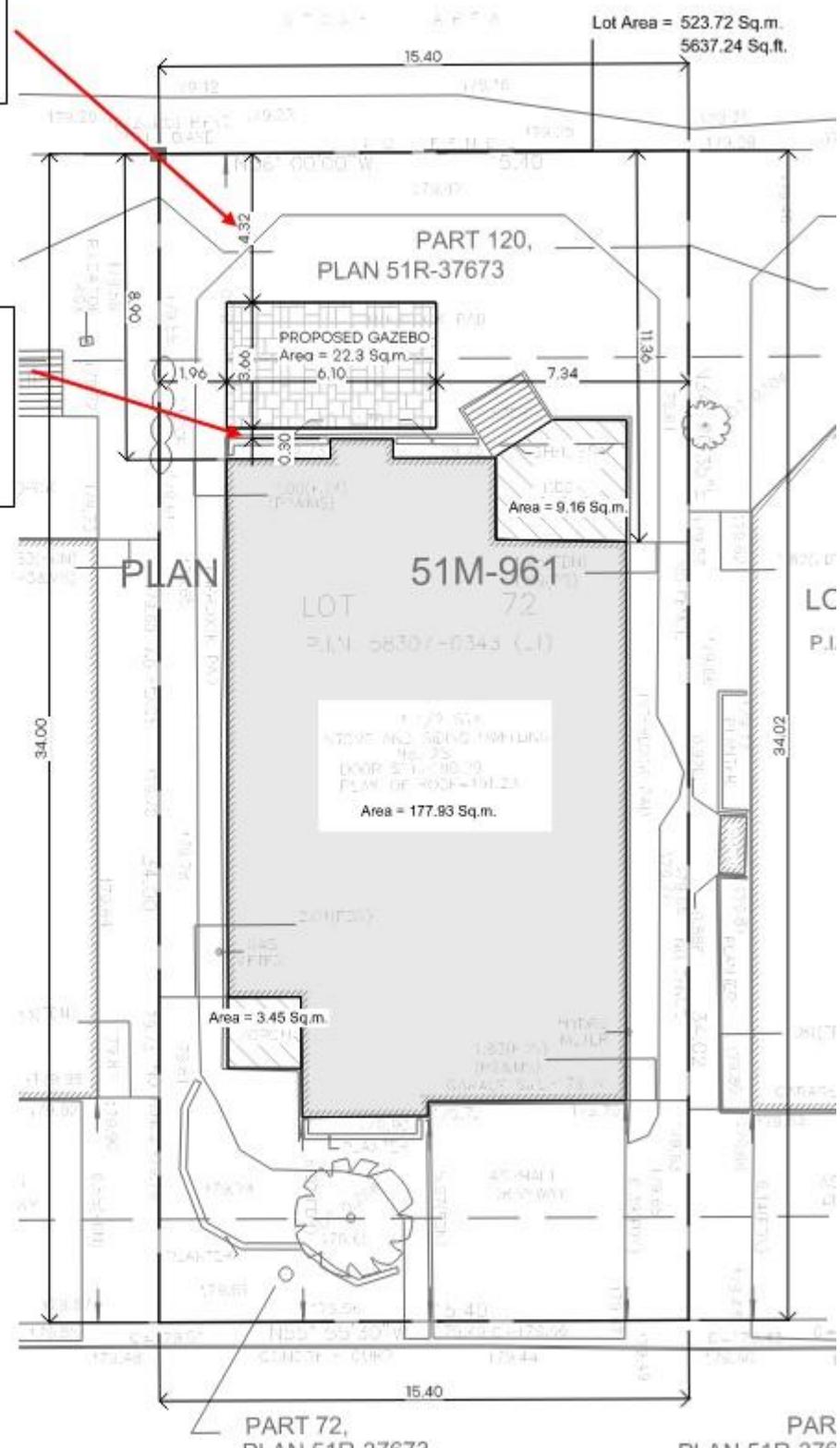
Under the authority of the Municipal Act, 2001 and in accordance with Ontario's Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), all information provided for, or at a Public Meeting, Public Consultation, or other Public Process are considered part of the public record, including resident deputations. All public meetings are recorded, and the information may be posted on the Town's website, and/or made available to the public upon request.

Note: Alternative formats available upon request.

Applicant's Site Plan/Sketch Submission

Proposed 4.32 metre
(14.1 ft.) separation
distance/setback
from the rear lot line

Proposed 0.3 metre (0.98 ft.) separation distance/setback from existing single detached dwelling



Note: Alternative formats available upon request.