

A01126

Catherine Lawrence

Date of this Notice: April 23, 2026

Tax Roll #: 436401000163600



Notice of Public Meeting Committee of Adjustment

Application for a Minor Variance has been submitted by Mighton Construction Limited c/o Adam Mighton, on behalf of Catherine Lawrence, owner of the subject lands.

Property Location: 768 Shore Lane

Public Meeting Date: Wednesday, May 20, 2026, at 2:00 p.m.

Virtual Hearing via Zoom & In-person at Town Hall (30 Lewis St.) in the Council Chambers

What is being proposed?

The applicant requests relief from Section 3.3 "Yard Encroachments" of Comprehensive Zoning By-law 2003-60, as amended, specifically:

- Section 3.3.3 iii) - to permit an uncovered deck with a height of 1.8 metres (5.92 ft.) above finished grade to be located within the rear yard with a 0 metre setback to the Environmental Protection (EP) Zone boundary, whereas decks may be permitted within a required rear yard, but no closer than 3 metres (9.84 ft.) to the lot line if the deck exceeds 0.6 metres (1.97 ft.) above finished grade.

Additionally, the applicant requests relief from Section 22 "Open Space (OS) Zone", specifically:

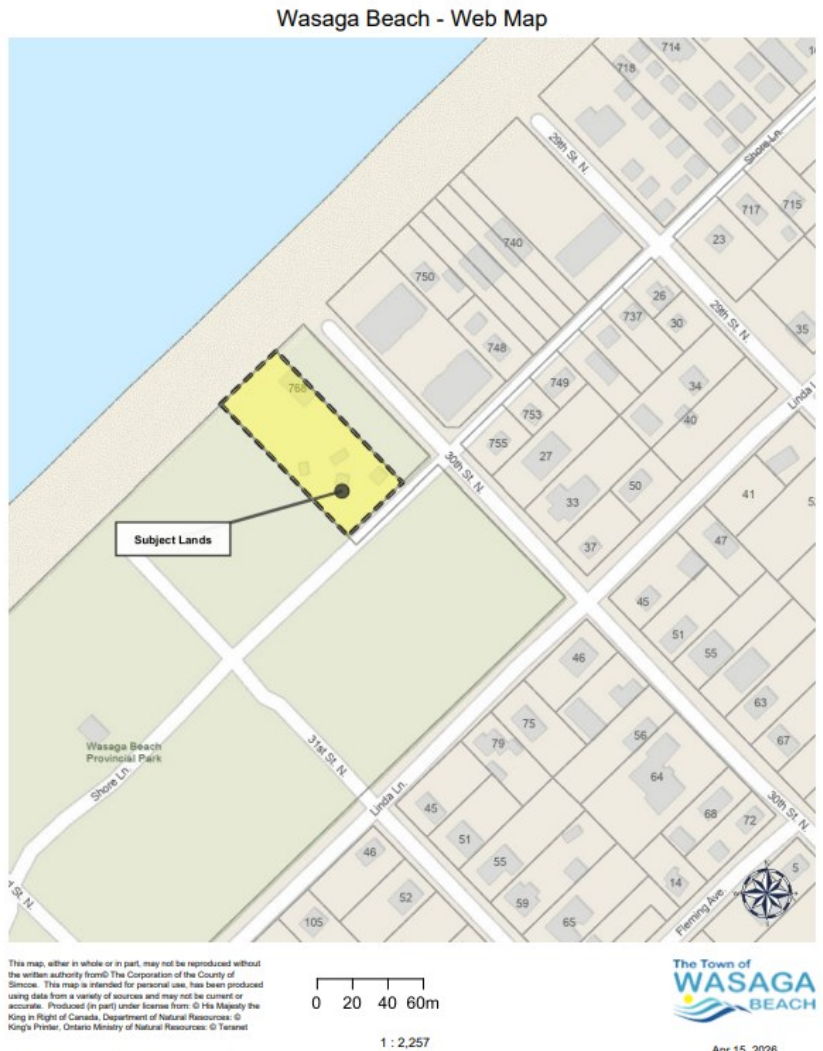
- Section 22.3.5 (a) – to permit an addition to the existing single-detached dwelling with an interior side yard setback of 0.86 metres (2.82 ft.) along the north-eastern property boundary, whereas a minimum interior side yard setback of 1.8 metres (5.9 ft.) is required.
- Section 22.3.5 (a) - to permit a reduced interior side yard setback of 0.86 metres (2.82 ft.) along the north-eastern property boundary for the proposed uncovered deck, whereas an interior side yard setback of 1.8 metres (5.92 ft.) is required.

The variances requested would facilitate the construction of a 6.13 square metre (66 sq. ft.) addition to the front of the existing single detached residential dwelling, with a reduced interior side yard setback along the north-eastern property boundary. Further the variances would facilitate the construction of a 71.26 square metre (767 sq. ft.) uncovered deck along the front, rear and south-western side of the single-detached dwelling with a reduced interior side yard setback along the north-eastern property boundary and a reduced rear yard setback to the Environmental Protection (EP) Zone.

OTHER APPLICATIONS: The property subject to this application for Minor Variance is not currently the subject of other application(s) under the *Planning Act*.

The legal description of the subject lands is: PLAN 705 LOT 67

Note: Alternative formats available upon request.



What happens at the Public Hearing?

The public hearing is your chance to make your views about the proposal known. Information from the public will help the Committee in their decision-making process, so make sure to have your say!

Written Comments: You are encouraged to provide your comments or questions in writing using email or regular letter mail to the Secretary Treasurer. Written comments received before the meeting will be read by the Secretary Treasurer at the Public Meeting for the benefit of everyone in attendance and will be included in the record of the Public Meeting.

Comments can be emailed to: cofa@wasagabeach.com

Verbal Comments: This Public Meeting is a hybrid meeting, allowing the public to attend the meeting in person or virtually. Those that wish to make verbal comments virtually are required to pre-register with the Secretary Treasurer, no later than 12:00 p.m. (Noon) on the Tuesday before the Public Meeting, by **May 19, 2026**.

To participate in the hearing and/or provide comments, you must register by scanning the below QR code



Register

Notice of Decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before or on the meeting date.

Where Can I Find More Information?

Additional information is available during regular office hours in the Planning Division of the Planning & Development Services Department at Town Hall. You may also request a copy of this notice by contacting:

Secretary Treasurer, Committee of Adjustment
Town of Wasaga Beach
120 Glenwood Drive
Wasaga Beach, ON

Hours of Operation:

Monday-Friday 8:30am-4:30pm

Phone: (705) 429-3844 ext. 2281

Email: cofa@wasagabeach.com

Questions? Ask the Planner!

Phone: (705) 429-3844 x 2270

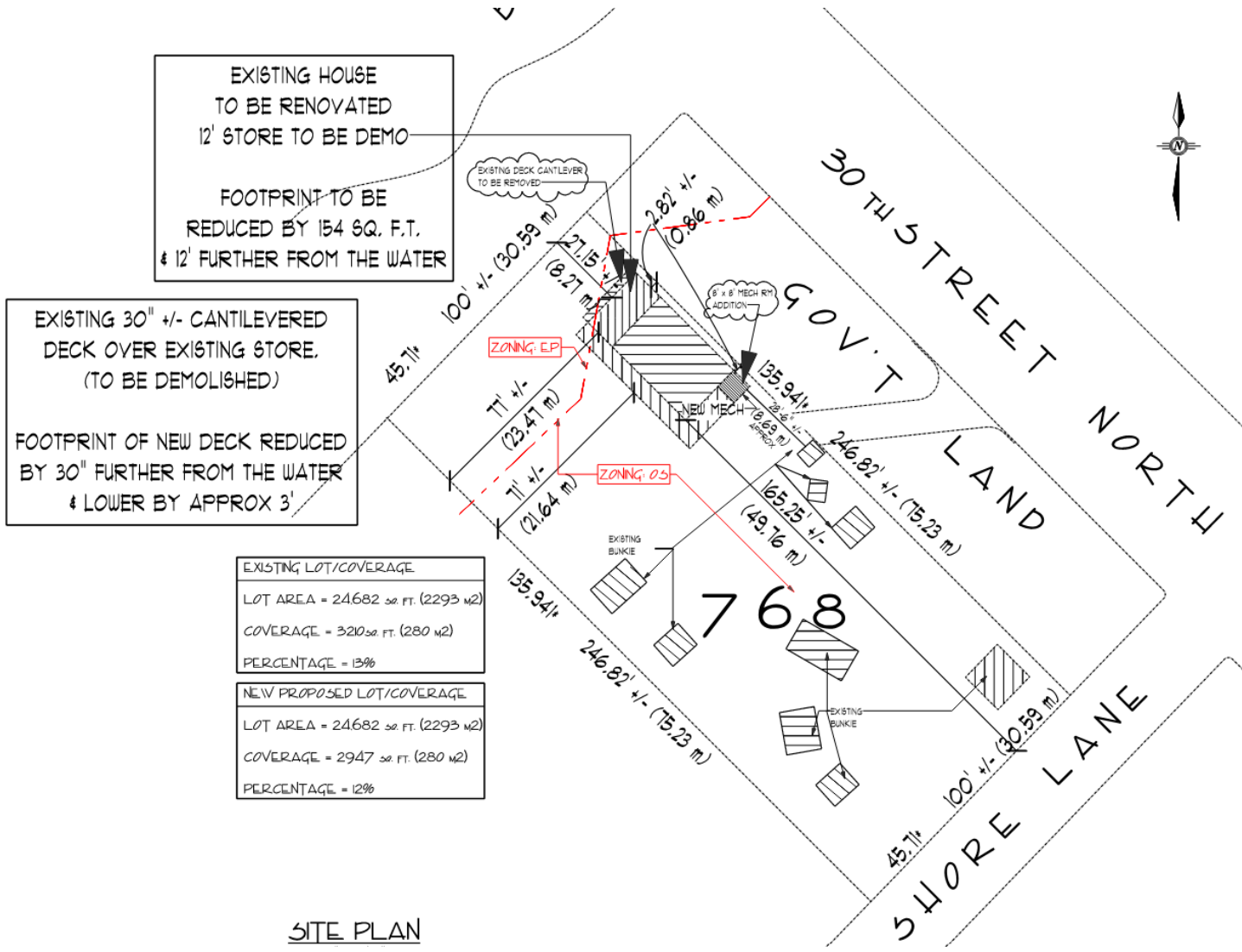
Email: samantha.elinesky@wasagabeach.com

A note about information you may submit to the Town:

Under the authority of the Municipal Act, 2001 and in accordance with Ontario's Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), all information provided for, or at a Public Meeting, Public Consultation, or other Public Process are considered part of the public record, including resident deputations. All public meetings are recorded, and the information may be posted on the Town's website, and/or made available to the public upon request.

Note: Alternative formats available upon request.

Applicant's Site Plan Sketch



EXISTING HOUSE
TO BE RENOVATED
12' STORE TO BE DEMO

FOOTPRINT TO BE
REDUCED BY 154 SQ. F.T.
& 12' FURTHER FROM THE WATER

EXISTING 30" +/- CANTILEVERED
DECK OVER EXISTING STORE.
(TO BE DEMOLISHED)

FOOTPRINT OF NEW DECK REDUCED
BY 30" FURTHER FROM THE WATER
& LOWER BY APPROX 3'

EXISTING LOT/COVERAGE	
LOT AREA = 24682 sq. FT. (2293 m2)	
COVERAGE = 3210 sq. FT. (280 m2)	
PERCENTAGE = 13%	
NEW PROPOSED LOT/COVERAGE	
LOT AREA = 24682 sq. FT. (2293 m2)	
COVERAGE = 2947 sq. FT. (280 m2)	
PERCENTAGE = 12%	

SITE PLAN

Note: Alternative formats available upon request.