

A04225
Gennady Bredikhin & Julia Kovaleva
Date of this Notice: January 29, 2026
Tax Roll #: 436402000100800



Notice of Public Meeting Committee of Adjustment

Application for a Minor Variance has been submitted by Gennady Bredikhin and Julia Kovaleva, owners of the subject lands.

Property Location: 11 and 15 Middlebrook Road

Public Meeting Date: Wednesday, February 18, 2026, at 2:00 p.m.

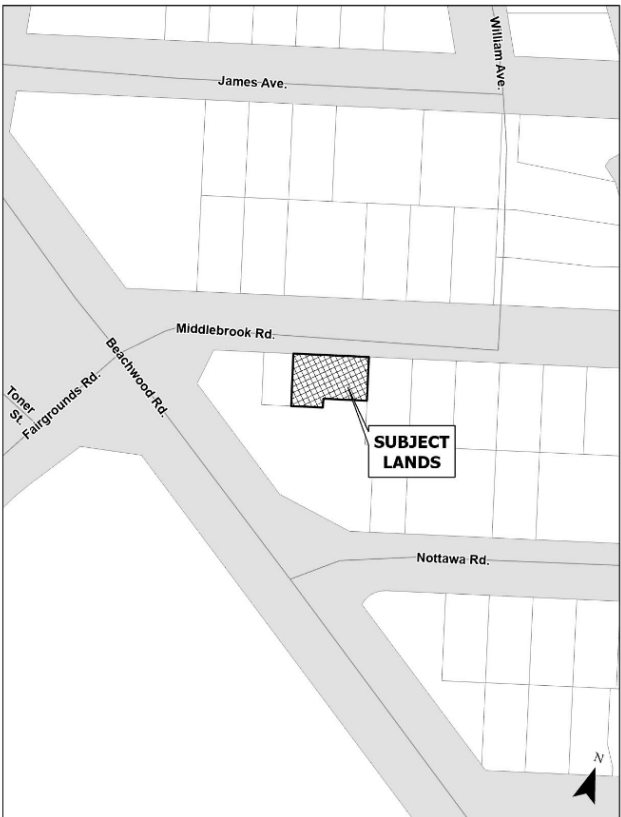
Virtual Hearing via Zoom & In-person at Town Hall (30 Lewis St.) in the Council Chambers

What is being proposed?

Proposed Severed Lands – Part 1

The applicant requests relief from Section 4 “Residential Type 1 (R1) Zone” of Comprehensive Zoning By-law 2003-60, as amended, specifically:

- Section 4.3.1 – to permit a minimum lot area of 233.4 square metres (2,512.3 sq. ft.) for a lot served by a public water system and a sanitary sewer system, whereas a minimum lot area of 464.5 square metres (5,000 sq. ft.) is required for a lot served by a public water system and a sanitary sewer system.
- Section 4.3.5 – to permit a minimum interior side yard setback of 1.2 metres (3.94 ft.) along the western property boundary for the existing dwelling with an attached porch, whereas a minimum interior side yard setback of 1.8 metres (5.9 ft.) is required.



Proposed Retained Lands – Part 2

The applicant requests relief from Section 3 “General Provisions” of Comprehensive Zoning By-law 2003-60, as amended, specifically:

- Section 3.38.2.10 – to permit a driveway with a setback of 0.3 metres (0.98 ft.) to the eastern side lot line, whereas no driveway shall be established closer than 1 metre (3.28 ft.) to a side lot line, provided this shall not apply to prevent the establishment of abutting driveways along a common lot line if their combined width does not exceed 9 metres (29.53 ft.).

Additionally, the applicant requests relief from Section 4 “Residential Type 1 (R1) Zone” of Comprehensive Zoning By-law 2003-60, as amended, specifically:

- Section 4.3.1 – to permit a minimum lot area of 202.9 square metres (2,184 sq. ft.) for a lot served by a public water system and a sanitary sewer system, whereas a minimum lot area of 464.5 square metres (5,000 sq. ft.) is required for a lot served by a public water system and a sanitary sewer system.
- Section 4.3.2 – to permit a minimum lot frontage of 11.05 metres (36.25 ft.) for a lot served by a public water system and a sanitary sewer system, whereas a minimum lot frontage of 12 metres (39.37 ft.) is required for a lot served by a public water system and a sanitary sewer system.
- Section 4.3.9 – to permit a maximum lot coverage of 40%, whereas a maximum lot coverage of 35% is permitted.

The variance(s) requested would support the applicant’s Consent to Sever application [Town File B01525], by permitting a reduced lot area for both ‘Part 1’ and ‘Part 2’. Additionally, the variance(s) would permit a reduced minimum lot frontage, increased maximum lot coverage, and permit a

Note: Alternative formats available upon request.

driveway with a reduced setback for 'Part 2'. Further to the above, the variance(s) would permit a reduced interior side yard setback along the western property boundary associated with 'Part 1'.

OTHER APPLICATIONS: The property subject to this application for Minor Variance is also subject to an application for Consent [Town File No. B01525].

The legal description of the subject lands is: *PLAN 800 PT LOT 8 N PT LOT 7.*

What happens at the Public Hearing?

The public hearing is your chance to make your views about the proposal known. Information from the public will help the Committee in their decision-making process, so make sure to have your say!

Written Comments: You are encouraged to provide your comments or questions in writing using email or regular letter mail to the Secretary Treasurer. Written comments received before the meeting will be read by the Secretary Treasurer at the Public Meeting for the benefit of everyone in attendance and will be included in the record of the Public Meeting.

Comments can be emailed to: cofa@wasagabeach.com

Verbal Comments: This Public Meeting is a hybrid meeting, allowing the public to attend the meeting in person or virtually. Those that wish to make verbal comments virtually are required to pre-register with the Secretary Treasurer, no later than 12:00 p.m. (Noon) on the Tuesday before the Public Meeting, by **February 17, 2026.**

To participate in the hearing and/or provide comments, you must register by scanning the below QR code



Register

Notice of Decision:

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer noted below. The written request must be received before or on the meeting date.

Where Can I Find More Information?

Additional information is available during regular office hours in the Planning Division of the Planning & Development Services Department at Town Hall. You may also request a copy of this notice by contacting:

Secretary Treasurer, Committee of Adjustment
Town of Wasaga Beach
120 Glenwood Drive
Wasaga Beach, ON

Hours of Operation:

Monday-Friday 8:30am-4:30pm

Phone: (705) 429-3844 ext. 2281

Email: cofa@wasagabeach.com

Questions? Ask the Planner!

Phone: (705) 429-3844 x 2270

Email: samantha.elinesky@wasagabeach.com

A note about information you may submit to the Town:

Under the authority of the Municipal Act, 2001 and in accordance with Ontario's Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), all information provided for, or at a Public Meeting, Public Consultation, or other Public Process are considered part of the public record, including resident deputations. All public meetings are recorded, and the information may be posted on the Town's website, and/or made available to the public upon request.

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